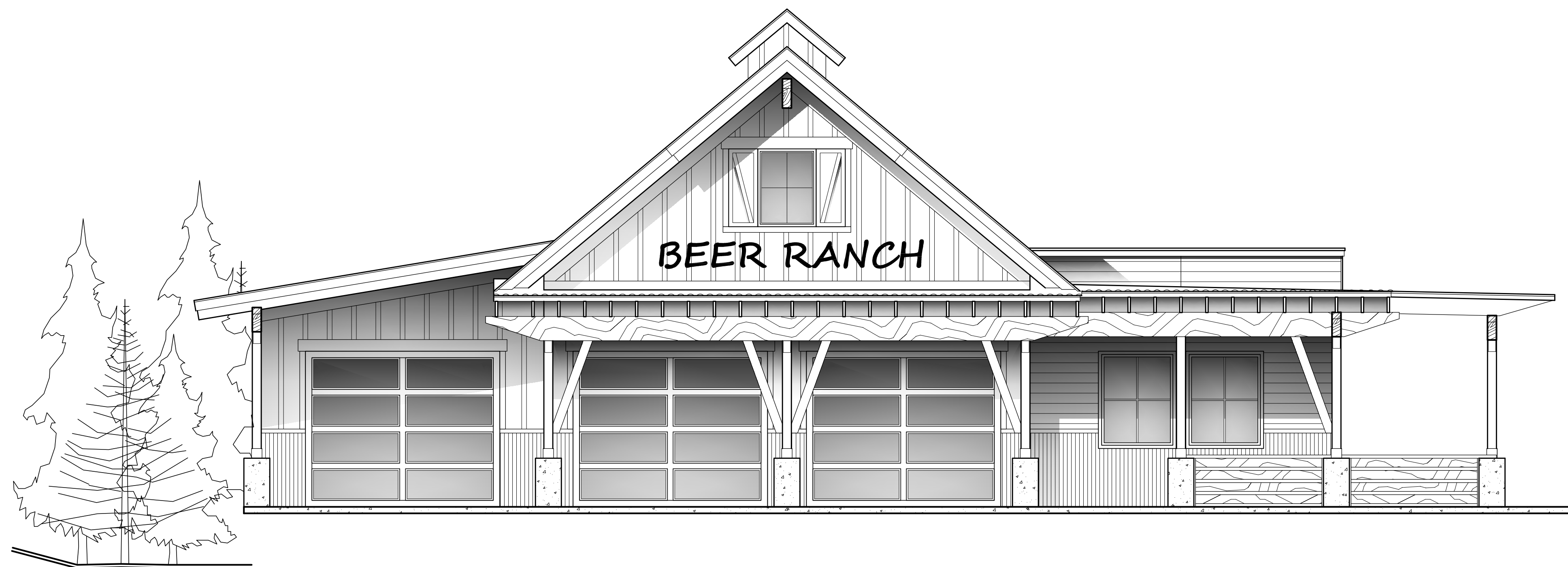
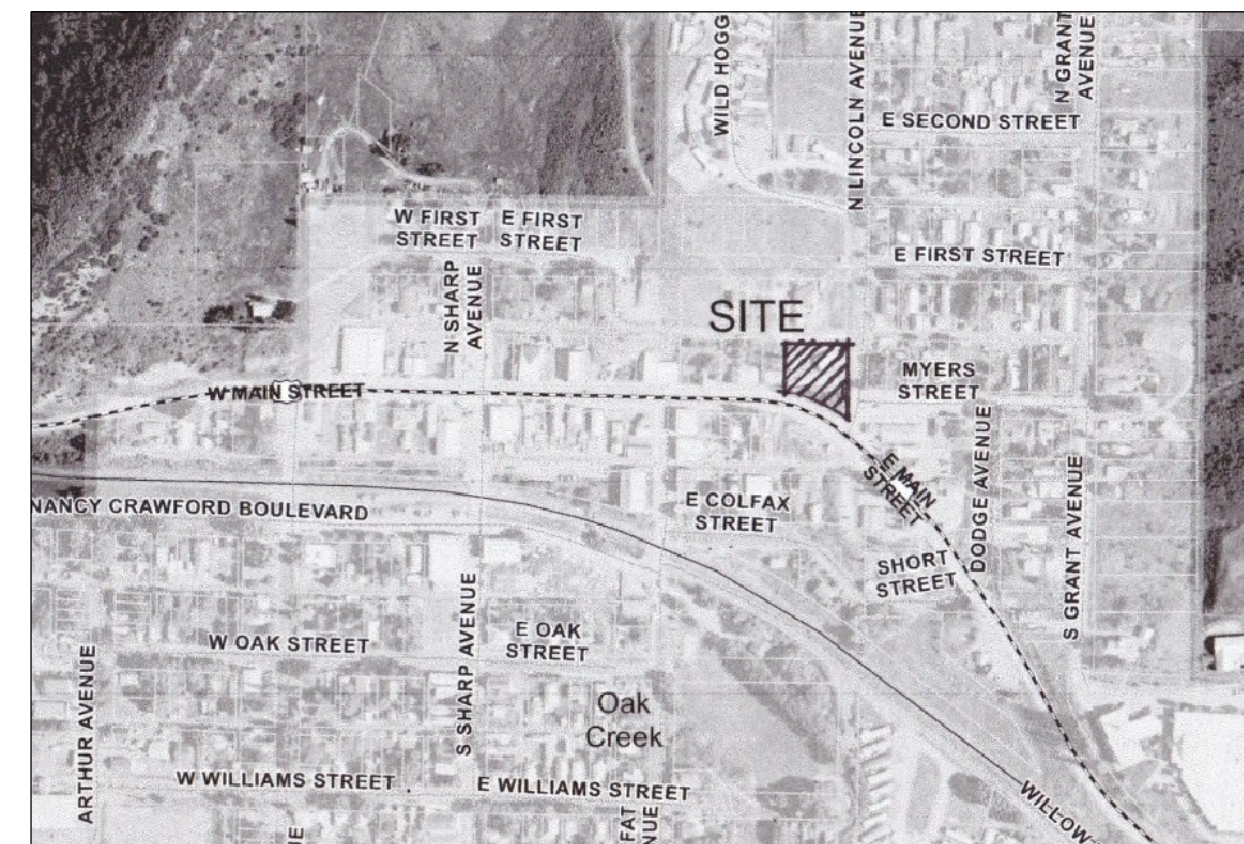


231 EAST MAIN STREET
LOTS 1-5, BLOCK 1
ORIGINAL TOWN OF OAK CREEK
ROUTT COUNTY, COLORADO



CVR	COVER SHEET SHEET INDEX	GENERAL
A1.0	SITE PLAN/ GRADING PLAN	
A2.0	FOUNDATION/ MAIN FLOOR PLAN	
A3.0	BUILDING ELEVATIONS	
A3.1	BUILDING ELEVATIONS	
A4.0	BUILDING SECTIONS	
A4.1	BUILDING SECTIONS	ARCHITECTURAL



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BEER RANCH
231 EAST MAIN STREET
LOTS 1-5, BLOCK 1
ORIGINAL TOWN OF OAK CREEK, COLORADO

DESCRIPTION	DATE
DESIGN DEVELOPMENT	11.16.21
DEVELOPMENT PLAN SUBMITTAL	12.08.21

CVR

Block 15

Lots 1, 2, 3, 4 and 5, Block 1,
Original Town of Oak Creek,
Routt County, Colorado.
101 North Lincoln Avenue

Indicates a capped #5 rebar monument marked LS 13221,
found flush to the ground and accepted, unless otherwise noted.

Indicates an angle point, no monument found or set.

Indicates an underground sewer line.

Indicates an underground water line.

Indicates an underground natural gas line.

Indicates an underground telephone line.

Indicates an underground electric line.

Indicates an overhead power transmission line.

Indicates a fence.

E Indicates measured bearings and distances.

Indicates platted distances.

Contour interval = 1'
Elevations based on CP-STMBT determined to be
6892.32' above MSL, NAVD88 Geoid12A, by GPS observations.

This plat does not constitute a title search by E&F Associates to determine ownership or easements of record. For all information regarding easements, rights-of-way or title of record, E&F Associates relied upon - The final plat of the Town of Oak Creek, Routt County, Colorado.

Sewer and Water service lines were partially located on the ground and the main lines were not located on the ground.

Some underground utilities were not located on the ground.

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

E&F Associates

P.O. Box 771965 Steamboat Springs, CO 80477 Surveyors

Site Survey with Topography

Lots 1-5, Block 1,
Original Town of Oak Creek,
Routt County, Colorado.

Client: Matt Wager

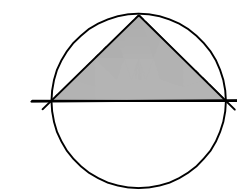
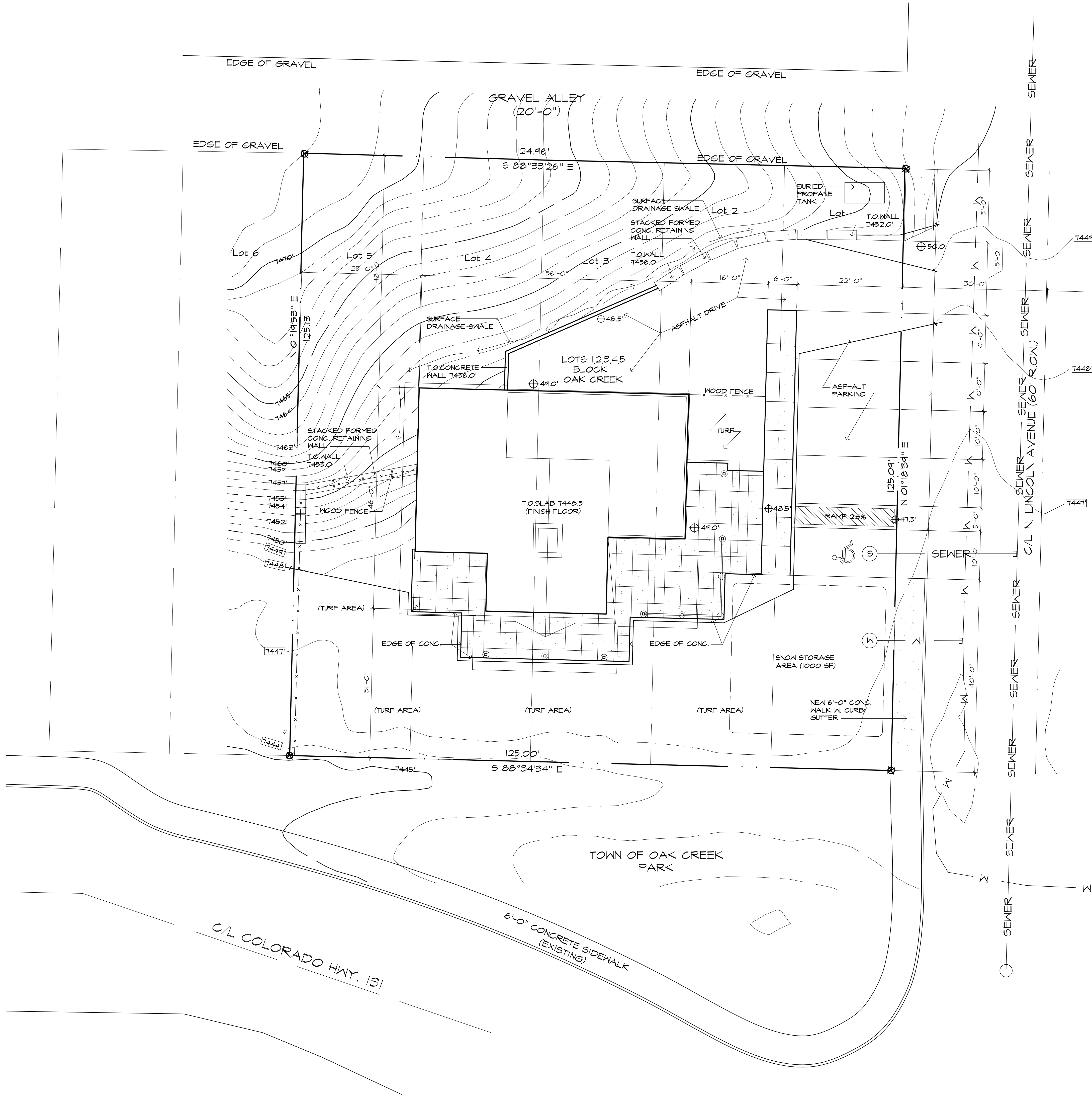
Drawing name: L1-5B10C

Drawn by: TE Date: 11-22-21 Revised:

Lincoln Avenue (60' wide R.O.W.)

Scale 1" = 10'

All bearings based on the monumented south line of Block 1,
Town of Oak Creek, considered to be S 88°34'34"E.



SITE/ GRADING PLAN

1"=10'-0"

GENERAL CONSTRUCTION NOTES:

- 1. PRIOR TO TCO OR CO SITE CONSTRUCTION IS REQUIRED TO BE COMPLETE INCLUDING:
 - a. FINAL GRADING AND SITE REVEGETATION
 - b. ROADWAY, SHOULDER AND DITCH DAMAGE RESTORED.
 - c. REVEGETATE ADJACENT PROPERTY DISTURBANCE
- 2. CONSTRUCTION STAGING AND ACCESS ON ADJACENT PROPERTY IS NOT APPROVED BY TOWN OF OAK CREEK, CONTRACTOR IS RESPONSIBLE FOR AGREEMENTS WITH ADJACENT PROPERTY OWNERS.
- 3. CONSTRUCTION MATERIAL STORAGE, DUMPSTER, PORTA-POTTIES ARE NOT ALLOWED ON PUBLIC RIGHT OF WAY WITHOUT A RIGHT OF WAY PERMIT, CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR ROW PERMIT.
- 4. A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) MAY BE REQUIRED BY TOWN OF OAK CREEK ENGINEERING FOR SITES AT ANY TIME. CONTRACTOR IS REQUIRED TO MAINTAIN A CLEAN SITE WITH THE FOLLOWING CONSIDERATIONS:
 - a. WORKER PARKING NOT ALLOWED ON SITE UNLESS ON STABILIZED GRAVEL SURFACE. PARKING NOT ALLOWED IN ROADSIDE DITCHES.
 - b. GRAVEL TRACKING PADS REQUIRED.
 - c. PERIMETER SITE CONTROL ON PROPERTY LINES.
 - d. DISTURBANCE OF ROADSIDE DITCH IS LIMITED TO INSTALLATION OF DRIVENWAY CULVERT.
 - e. NO STOCKPILES ON ADJACENT PRIVATE PROPERTY OR ROW

SITE DATA
PERFORMANCE DISTRICT #1

ITEM	STANDARD	PROPOSED	PROVIDED
LOT SIZE	MIN. LOT AREA (2400) SF		
FRONT SETBACK	25' MIN./ 100' MAX.	MEETS CRITERIA	
SIDE SETBACK	25' MIN./ 100' MAX.	MEETS CRITERIA	
REAR SETBACK	25' MIN./ 100' MAX.	MEETS CRITERIA	
OVERALL HT.	MAX. 35'-0"	MAX. HT. 24'-0"	
AVERAGE PLATE HT.	N/A		
LOT COVERAGE	NO MAX.	(3100) SF/ 20%	
F.A.R.	N/A		
SNOW STORAGE	(1) SF PER (2) SF PAVING	(2000) SF OF PAVING	(1000) SF OF STORAGE

- NOTE:
- 1. EXISTING GRADE INFORMATION TAKEN FROM E&F ASSOCIATES #1459-010
 - 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL ASPECTS OF SITE MANAGEMENT WITH RESPECT TO TRASH RECEPTACLES, PORTA-POTTY, EROSION CONTROL, OFF SITE DRAINAGE CONTROL, STOCK PILES OF SOILS AND MATERIALS AND MAINTAINING NO DISTURBANCE TO ADJACENT PROPERTIES. EROSION AND SITE DRAINAGE TO BE CONTROLLED WITH SNAILES AND ADEQUATELY PLACED "WADDLES" AT DOWN SLOPE, SPACED LOCATIONS, PRIOR TO ANY WATER LEAVING THE SITE.

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A1.0



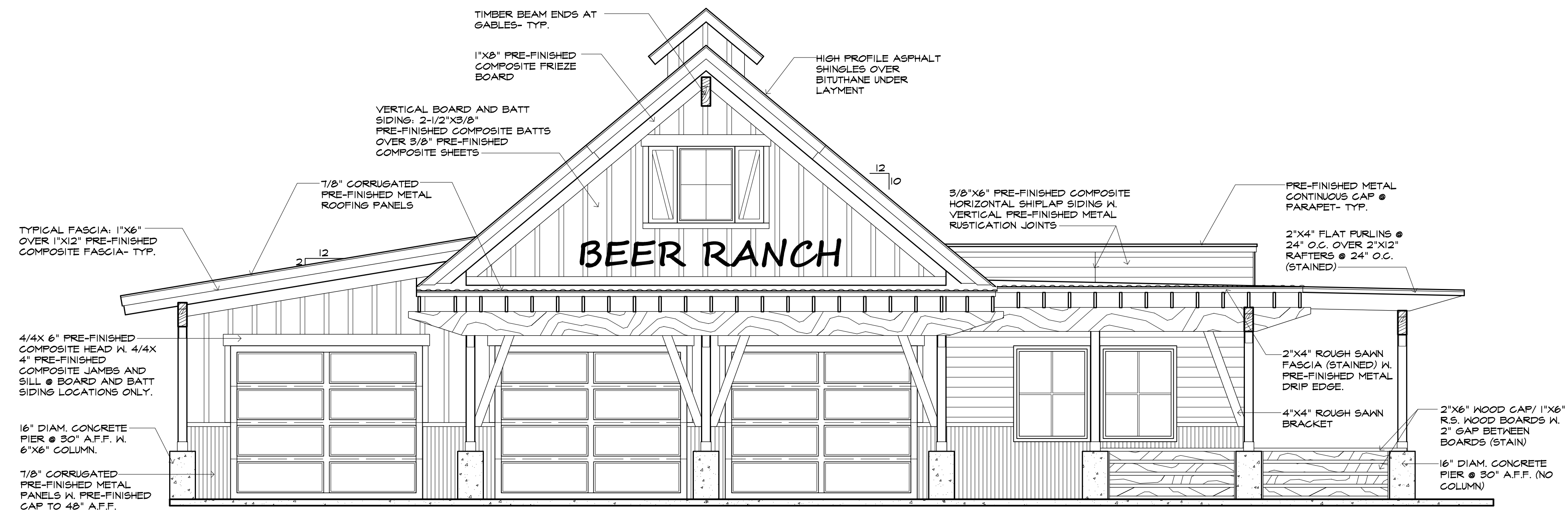


South Elevation



East Elevation

Moon Hill Design, Inc.



SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

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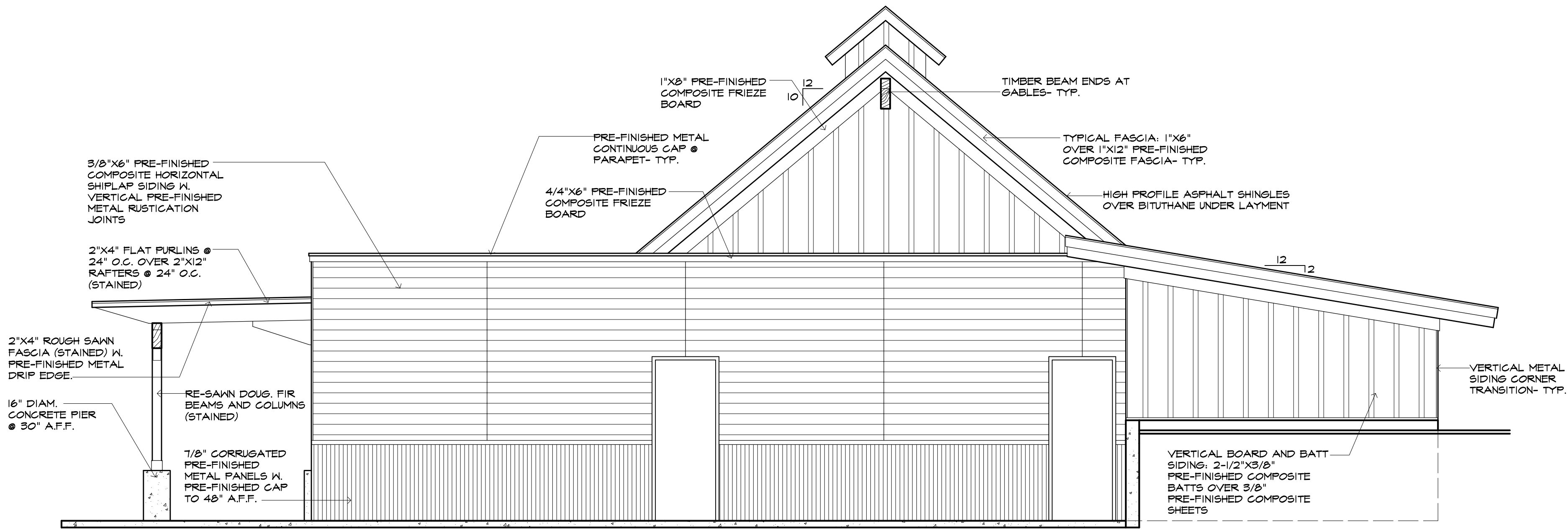
BEER RANCH

231 EAST MAIN STREET
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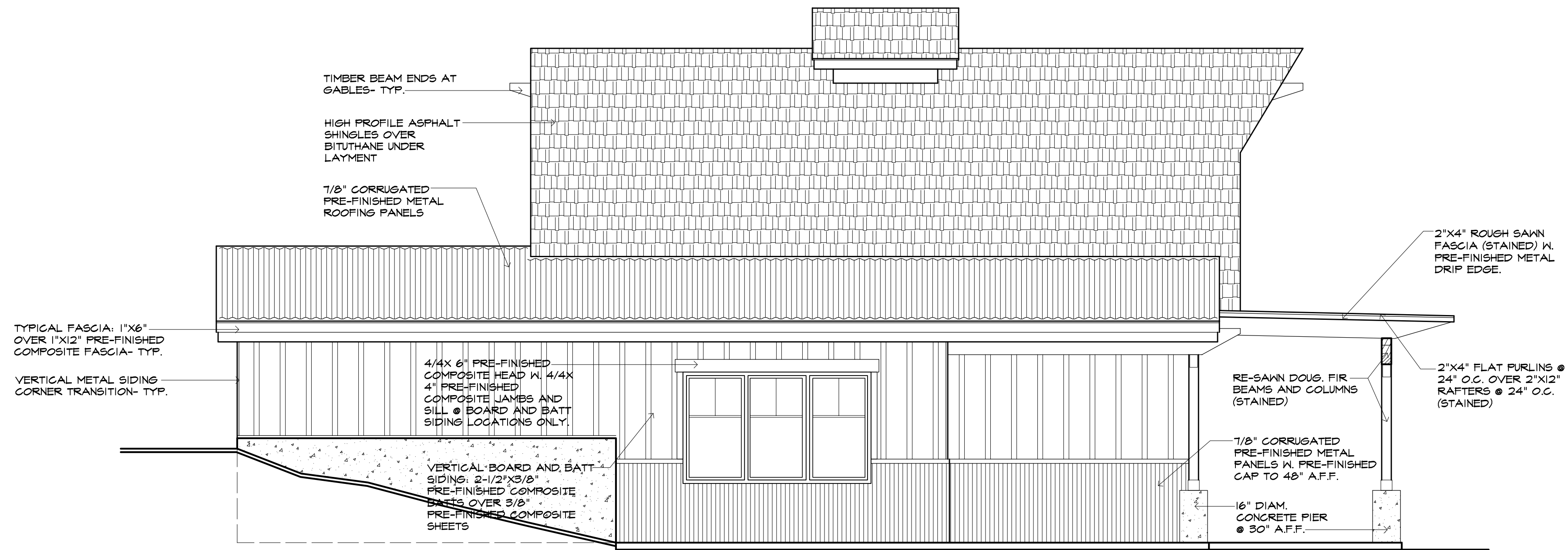
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A3.0



NORTH ELEVATION

1/4"=1'-0"



WEST ELEVATION

1/4"=1'-0"

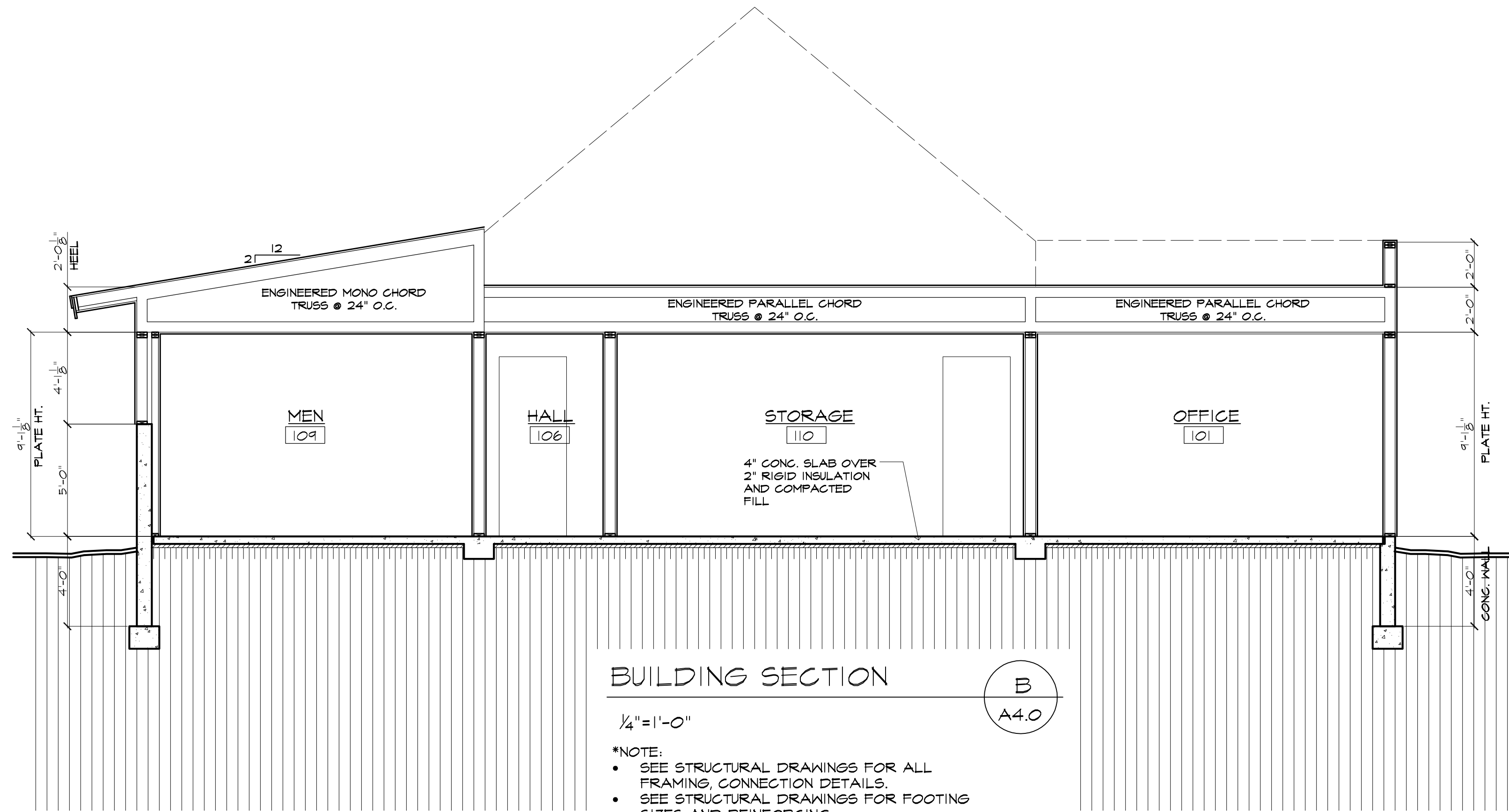
Moore Hill Design, Inc.

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 LOTS 1-5, BLOCK 1
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A3.1

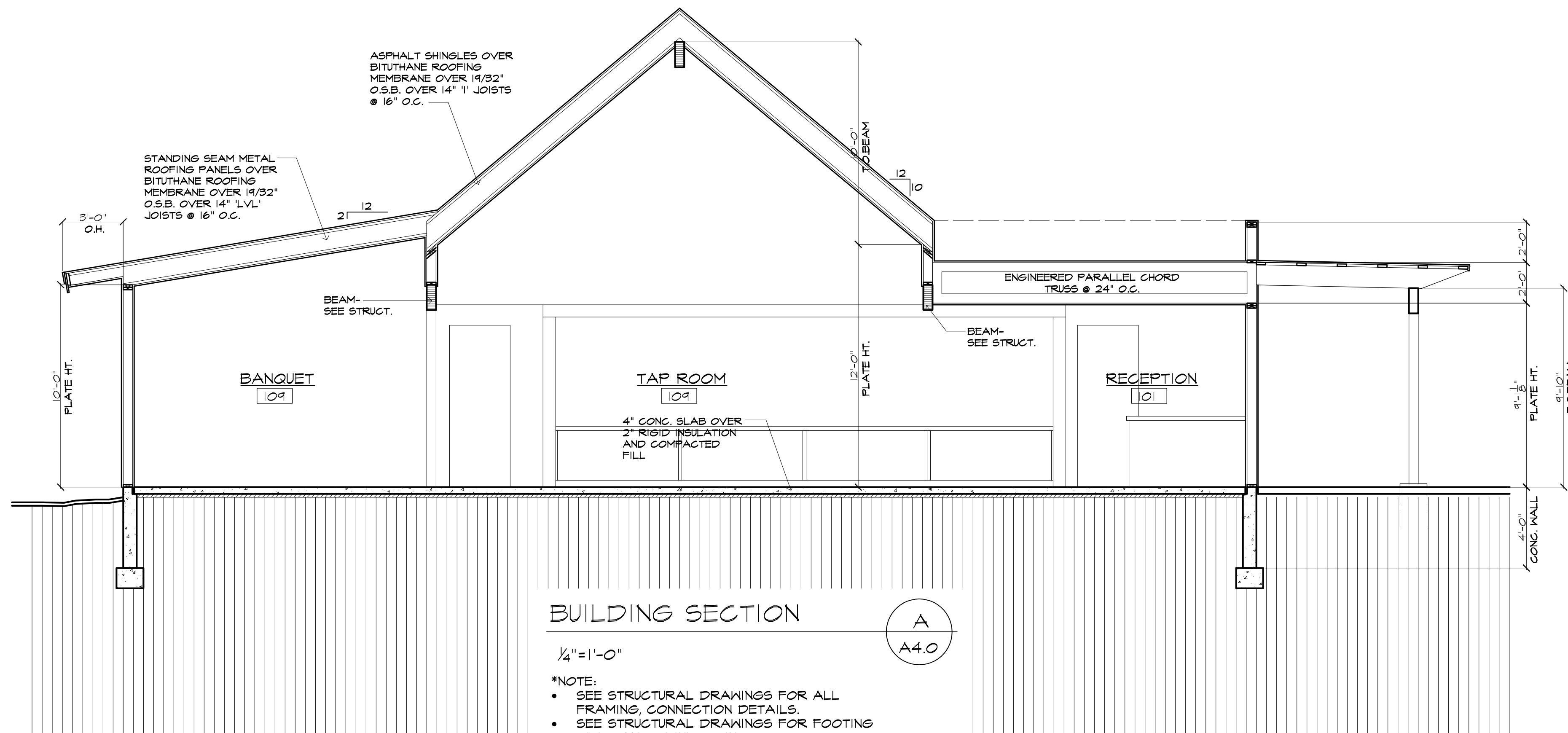


BUILDING SECTION

B
A4.0

1/4"=1'-0"

*NOTE:
• SEE STRUCTURAL DRAWINGS FOR ALL FRAMING, CONNECTION DETAILS.
• SEE STRUCTURAL DRAWINGS FOR FOOTING SIZES AND REINFORCING.



BUILDING SECTION

A
A4.0

1/4"=1'-0"

*NOTE:
• SEE STRUCTURAL DRAWINGS FOR ALL FRAMING, CONNECTION DETAILS.
• SEE STRUCTURAL DRAWINGS FOR FOOTING SIZES AND REINFORCING.

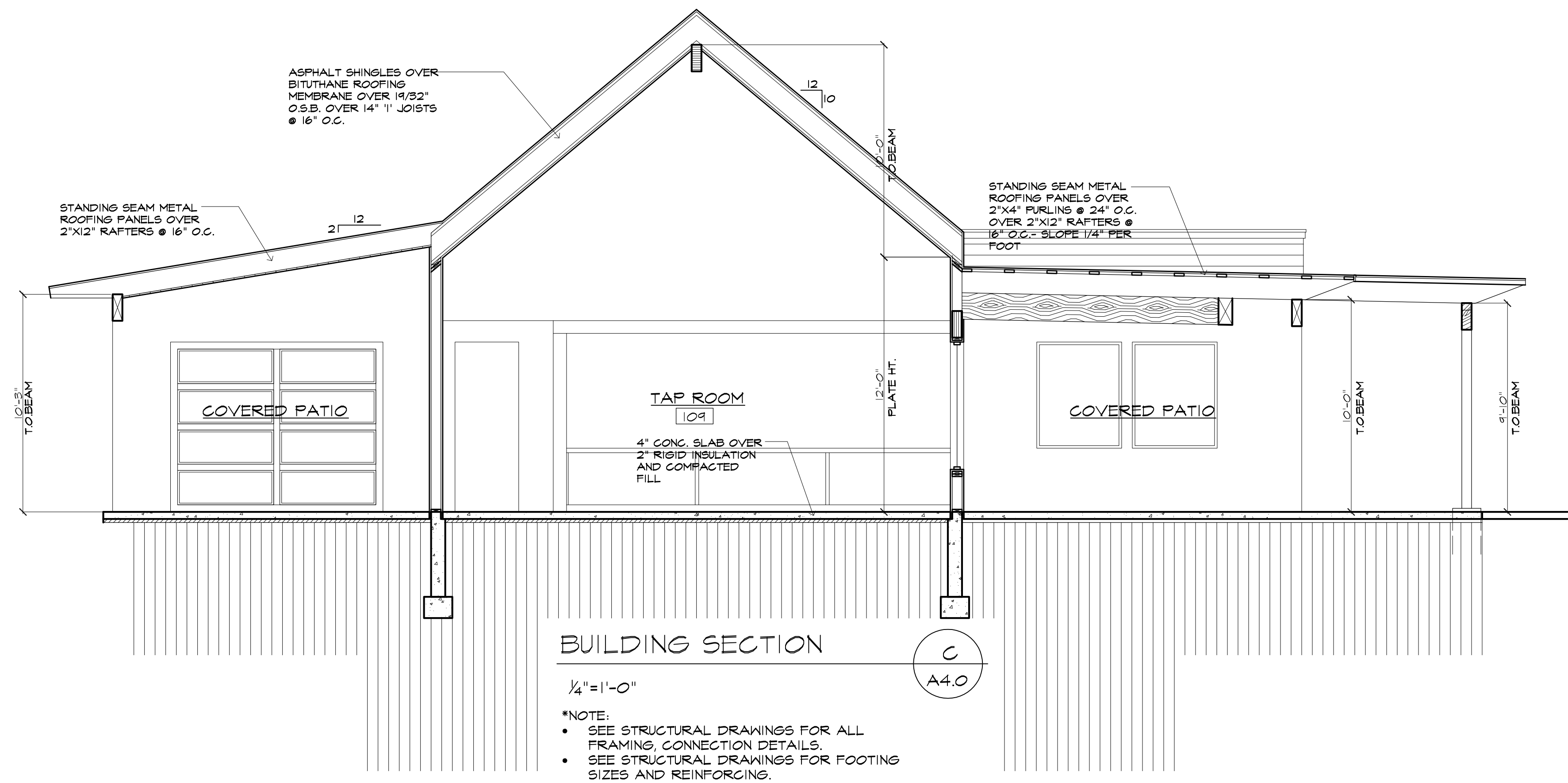
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A4.0



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