

Variance Application

# TOWN OF OAK CREEK

P.O. Box 128 • Oak Creek, Colorado 80467 • (970) 736-2422

Petitioner's/Representative's Name: Joe Hryniel

Signature of Petitioner/Representative: Joe Hryniel

Petitioner's/Representative's E-Mail Address: oldmanjch@aol.com

Petitioner's/Representative's Mailing Address: PO. Box 661 Oak Creek 80467

Telephone: 303-589-7965 Fax: \_\_\_\_\_

Petition Request: (Variance) LOT 20- Block 3- Third Addition to Town of Oak Creek

Physical Address: 217 Arthur Ave

Legal Description: LOT-20-21- Block 3- Third ADD to Town of Oak Creek

Assessor's Parcel Identification No.: 100902020

Provide the following additional information:

- ☒ Written narrative (see attached page 3 for information on Section 17.09.06, Land Use Code – please provide information on your request with regard to the appropriate section(s) of this section of the Land Use Code.)
- ☒ Legal Description
- ☒ Physical Address
- ☒ Vicinity Map
- ☒ Site Map: Illustrating all structures and property lines to scale, both existing and proposed; abutting land owners and land uses, streets, highways, utilities that service the area and major physical features
- ☒ Building Plans including elevations
- ☒ Filing Fee \$ \_\_\_\_\_ (Base fee is designed to cover the minimum staff hours has to process the application. Additional hours on the project will be assessed at \$ \_\_\_\_\_ per hour.)
- ☒ The application fee must be paid in full to begin the application.
- ☒ Proof of ownership, lease/deed and/or statement of authority or other documentation regarding the use of the property.


☒ Other Variance to LOT 20 217 Arthur Ave  
From 15' to 12'

zoned PD7

The Applicant, by his/her signature below, agrees that he/she understands that he/she will personally appear in front of the Oak Creek Planning Commission on the 17 day of Aug, 2022 to present this application and receive a recommendation from the Oak Creek Planning Commission and will also be required to appear before the Oak Creek Town Board on the 25 day of Aug, 2022 at their regularly scheduled meeting for a final determination, i.e., approval or denial, of this application.

Signature of Applicant/Applicant's Representative:  Date: 7-7-22

Signature of Town Administrator/Clerk:

Application Received:  Date: 7-14-22

Application Deemed Complete: \_\_\_\_\_ Date: \_\_\_\_\_

Requesting an amended variance from 15' to 12'  
from south property line that includes Lot 20.  
This will better accommodate the construction site plan  
as well as utilize Lot 21 parking space

Proposed - SET BACK 12' South  
 SET BACKS 15'

EAST - WEST - North  
 North →

LOT SIZE  
 20 100' x 25'  
 21 100' x 25'

217 Arthur Ave

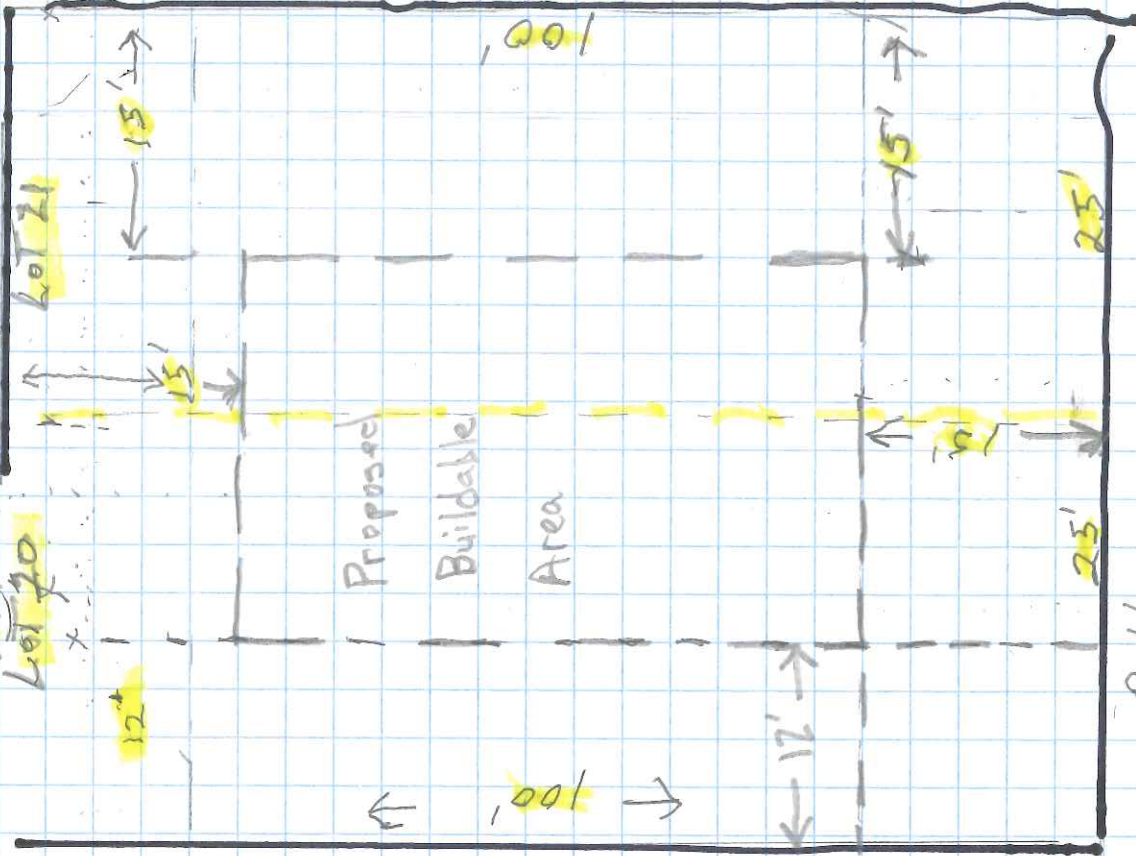
Lot 20

Lot 21

Lot 19

1-80-31

Dwellings  
 (Neighborhood)



Alley

North

North →

Alley

West Oak Street



217 Arthur Ave

USE} - Duplex - Live / work unit

TERRAIN} gentle sloping

LOTS} 20-21 100x25 EA - Block 2-3rd Addition  
Town of Oak Creek

Street conditions Arthur Ave good

Dimensions} 14'1" X 31'375" X 9'8"

Co. \_\_\_\_\_

Building will be a metal building approx  
14'1" X 31'375" X 9'8" TALL - will be divided  
into 2 space of equal size - with two  
separate entries and living areas to be  
used as a duplex or live/work unit

units to be divided by code conforming fire  
wall - with concrete floors  
2-lots are 25'x100' EA, with sloping terrain

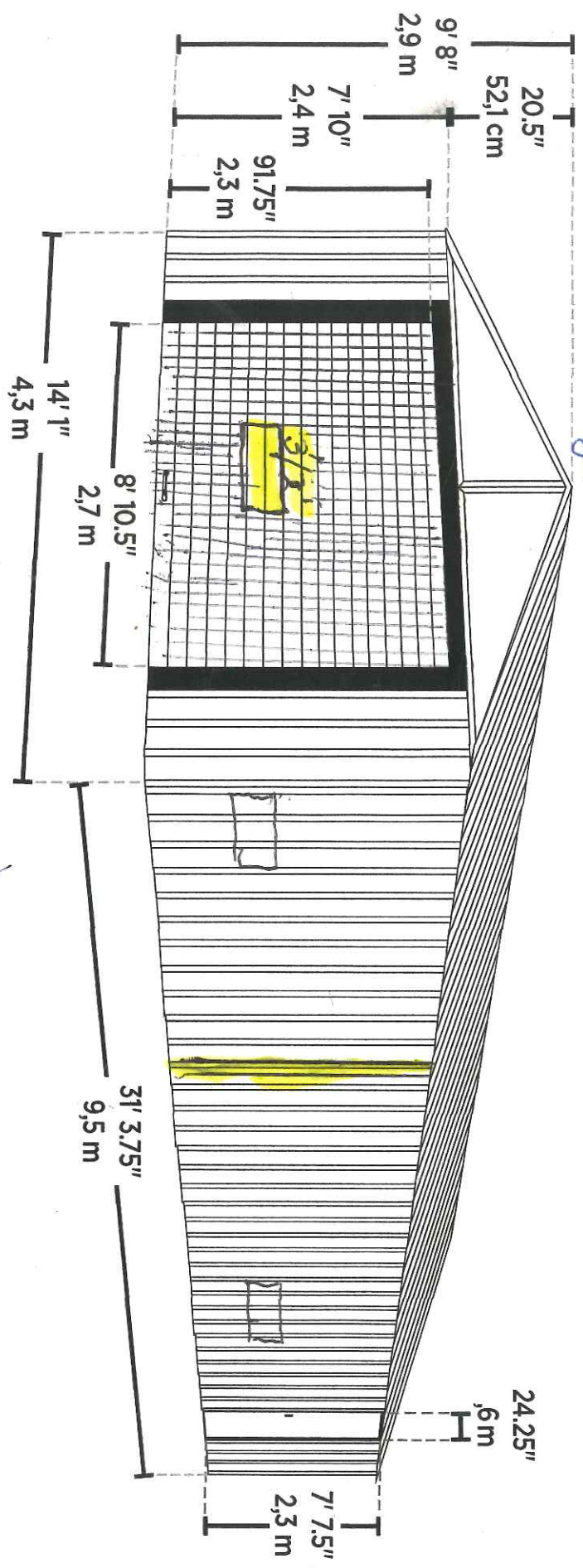
Thank  
Joe Hengst

303-589-7965  
P.O. Box 661 Oak Creek  
222 W Oak St  
oldmaxjch@aol.com

217 Arthur  
LOT 20-21

← North

Dist No 7



No Garage Door - Replaced with wood window  
Window 36x24  
East View

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